

MAJOR SITE PLAN

PROPOSED MEDICAL OFFICE

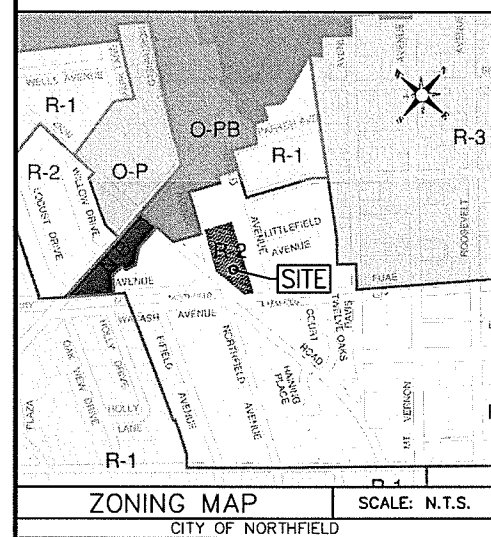
207 NORTHFIELD AVENUE

BLOCK 106, LOT 8

CITY OF NORTHFIELD,

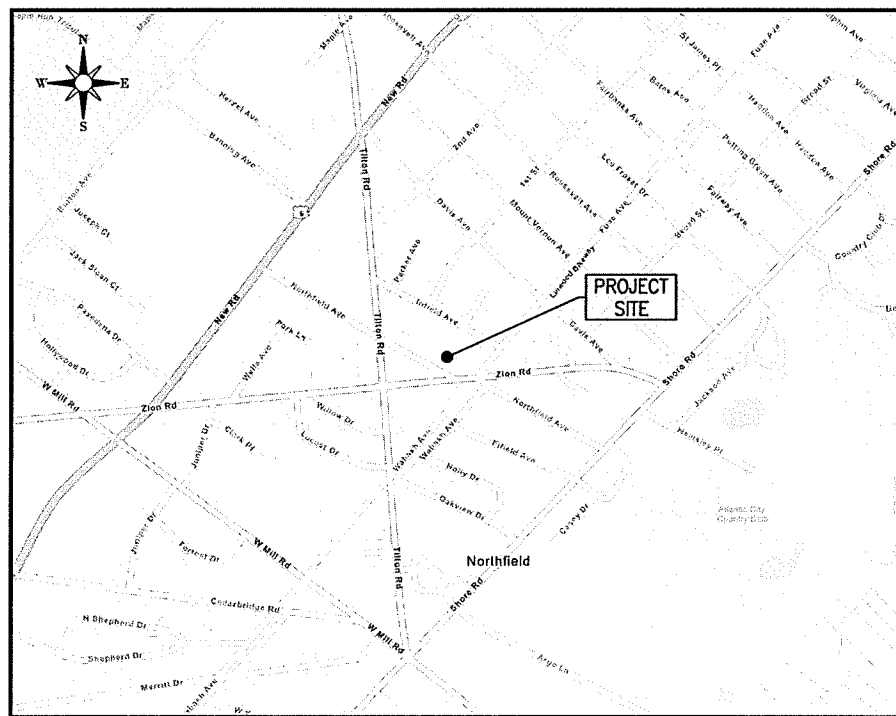
ATLANTIC COUNTY, NJ

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200FT PROPERTY OWNER'S LIST

TAXING DISTRICT	ADDRESS	PROPERTY CLASS	OWNER NAME & ADDRESS	CITY	STATE	ZIP
16	1124 TILTON RD	4A	SARATE, MICHAEL ETAL 17A BRIAN TACR, 1201 TILTON RD NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	1100 TILTON RD	4A	1500 PROPERTY MANAGEMENT LLC 1100 TILTON RD NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	218 NORTHFIELD AVE	4A	18 & H PROPERTIES 218 NORTHFIELD AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	202 NORTHFIELD AVE	14A	1800 NORTHFIELD AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	1100 ELM RD	2	1100 ELM RD NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	1403 BIRNAY AVE	2	1403 BIRNAY AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	1410 ELM RD	2	1410 ELM RD NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	1403 MADISON AVE	2	1403 MADISON AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	114 NORTHFIELD AVE	2	114 NORTHFIELD AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	1402 MADISON AVE	2	1402 MADISON AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	217 NORTHFIELD AVE	4A	217 NORTHFIELD AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	211 NORTHFIELD AVE	4A	211 NORTHFIELD AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	213 NORTHFIELD AVE	15P	213 NORTHFIELD AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225
16	1200 YUKE AVE	2	1200 YUKE AVE NORTHFIELD, NJ 08225	NORTHFIELD	NJ	08225



CITY OF NORTHFIELD

PLANNING BOARD CHAIRPERSON _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

CITY ENGINEER _____ DATE _____

ATLANTIC COUNTY

COUNTY ENGINEER _____ DATE _____

COUNTY PLANNING BOARD SECRETARY _____ DATE _____

- #### UTILITIES
- Atlantic City Electric
Real Estate & Right of Way Department
5100 Harding Highway, 53ML22
Mays Landing, NJ 08530
 - South Jersey Gas Co.
1 So. Jersey Plaza
Folsom, NJ 08037
 - Verizon
9 Gates Avenue
Montclair, NJ 07042-3301
 - Comcast Cable
901 Leeds Ave.
Absecon, NJ 08201
 - New Jersey American Water Company, Inc.
1 Water Street
Camden, NJ 08102
 - Northfield Sewer Department
1600 Shore Road
Northfield, NJ 08225
 - Municipal Road
City of Northfield
Littlefield Avenue
First Street
Wabash Avenue
Northfield Avenue
 - Department of Regional Planning & Economic Development
Rt. 9 and Dolphin Ave.
Northfield, NJ 08225
 - New Jersey Department of Transportation
1035 Parkway Avenue
Trenton, NJ 08625
- Infield Avenue
Fuse Avenue
Littlefield Avenue
First Street
Wabash Avenue
Northfield Avenue
- Zion Road
- No State Roads within 200 ft.

COVER SHEET

DeBlasio & Associates
CONSULTING ENGINEERS AND PLANNERS

4701 NEW JERSEY AVENUE
WILMWOOD, NJ 08260
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Certification of Authorization No. 24G4284900

MAJOR SITE PLAN
PROPOSED MEDICAL OFFICE
BLOCK 106, LOT 8
CITY OF NORTHFIELD
ATLANTIC COUNTY, NEW JERSEY

NO.	DATE	APPR.	REVISION

Scale: AS NOTED
Date: 12/14/2021

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2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION SHALL GOVERN, EXCEPT FOR THOSE DETAILS CONTAINED HEREIN

LEGEND

EXISTING	
	TRAVERSE POINT
	FIRE HYDRANT
	SIGN
	UTILITY POLE
	SPOT ELEVATION
	LIGHT POLE
	GAS METER
	WATER METER
	WATER CURBSTOP/SHUT-OFF
	WATER VALVE
	GAS VALVE/SHUT-OFF
	SANITARY CLEANOUT
	STREET SIGN
	"B" INLET
	"A" INLET
	"E" INLET
	STORM MANHOLE
	SANITARY MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	CURBING
	CONCRETE
	STORM DRAINS
	WATER MAIN
	SANITARY MAIN
	GAS MAIN
	ELECTRIC CONDUIT
	FORCE MAIN
	OVERHEAD WIRES
	EXISTING CONTOUR
	RIGHT-OF-WAY LINE/PROPERTY LINE
	DECIDUOUS TREE
	EVERGREEN TREE

PROPOSED

	FIRE HYDRANT
	SIGN
	UTILITY POLE
	SPOT ELEVATION
	LIGHT POLE
	WATER METER
	WATER VALVE
	SANITARY CLEANOUT
	"B" INLET
	"A" INLET
	"E" INLET
	STORM MANHOLE
	SANITARY MANHOLE
	CURBING
	CONCRETE
	STORM DRAINS
	WATER MAIN
	SANITARY MAIN
	GAS MAIN
	ELECTRIC CONDUIT
	OVERHEAD WIRES
	PROPOSED CONTOUR
	(PROPOSED TOP OF CURB)
	(PROPOSED CUTTER LINE)
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED LIMIT OF DISTURBANCE
	DRAINAGE FLOW ARROW

GENERAL NOTES

- SITE CONSTRUCTION TO BE IN ACCORDANCE WITH NEW JERSEY STATE DEPARTMENT OF TRANSPORTATION STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, 2019 (LATEST ADOPTION), WHICH SHALL GOVERN. LATEST NJDOT STANDARD DETAILS SHALL GOVERN. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UNDERGROUND ELECTRICAL CONDUIT AND IDENTIFY SAME PRIOR TO STARTING ANY EXCAVATION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWNSHIP, COUNTY, AND STATE AND SHALL PAY ALL FEES, INCLUDING THE INSPECTION FEES, AND IN GENERAL SHALL PROCURE ALL REQUIRED PERMITS, LICENSES, INSPECTIONS, PAY ALL CHARGES AND FEES, AND GIVE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE PAVING, TOPSOIL, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP, SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS, AND LAW.
- THE CONTRACTOR WILL PRESERVE AND PROTECT ALL EXISTING VEGETATION, SUCH AS TREES, SHRUBS, AND GRASS ON OR ADJACENT TO THE SITE, WHICH DO NOT REASONABLY INTERFERE WITH THE CONSTRUCTION AS MAY BE DETERMINED BY THE DESIGN ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNAUTHORIZED CUTTING OR DAMAGING OF TREES AND SHRUBS, MATERIALS, OR TRACKING OF GRASS AREAS BY EQUIPMENT. CARE SHALL BE TAKEN BY THE CONTRACTOR IN FELLING TREES AUTHORIZED FOR REMOVAL TO AVOID ANY UNNECESSARY DAMAGE TO VEGETATION THAT IS TO REMAIN IN PLACE. THE CONTRACTOR SHALL BE LIABLE FOR OR MAY BE REQUIRED TO REPLACE OR RESTORE, AT HIS EXPENSE, ALL VEGETATION NOT PROTECTED AND PRESERVED AS REQUIRED HEREIN THAT MAY BE DESTROYED OR DAMAGED.
- THE CONTRACTOR SHALL ACKNOWLEDGE PRIOR TO CONSTRUCTION THAT HE OR SHE HAS SATISFIED THEMSELVES AS TO THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS, PARTICULARLY THOSE BEARING ON TRANSPORTATION, HANDLING AND STORAGE OF MATERIALS, THE CHARACTER OF THE EQUIPMENT AND FACILITIES NEEDED DURING THE PROSECUTION OF THE WORK AND ALL OTHER MATTERS WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT. ANY FAILURE OF THE CONTRACTOR TO ACCOUNT THEMSELVES WITH THE AVAILABLE INFORMATION CONCERNING THOSE CONDITIONS WILL NOT RELIEVE THEM FROM RESPONSIBILITY FOR ESTIMATING PROPERLY THE DIFFICULTIES OR COST OF SUCCESSFULLY PERFORMING THE WORK.
- ALL MATERIALS, METHODS, AND DETAILS OF IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE REGULATIONS OF CITY OF NORTHFIELD, ATLANTIC COUNTY, N.J.D.O.T. AND/OR THE APPROPRIATE UTILITY COMPANY, WHICHEVER REGULATION TAKES PRECEDENCE.
- ALL CONCRETE FOR SIDEWALKS AND CURB SHALL BE OF A MIX TO ENSURE A 28 DAY STRENGTH OF 4,000 PSI AND HAVE A MINIMUM AIR CONTENT OF 5%.
- THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR ENSURING THAT ALL WORK PERFORMED CONFORMS TO ALL THE APPLICABLE STATUTES, REGULATIONS, ORDINANCES, AND STANDARDS OF GOVERNMENTAL BODIES HAVING JURISDICTION OVER SUCH WORK. THE RESPONSIBILITY SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - CONFORMITY WITH THE APPROVED PLANS AS WELL AS STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHFIELD.
 - CORRECTION OF ALL DEFECTS OF THE WORK, NO MATTER WHAT THE CAUSE, UNTIL THE DATE OF THE ACCEPTANCE, AND THEREAFTER, FOR THE PERIOD OF ANY GUARANTEE WHICH RUNS BEYOND THE DATE OF ACCEPTANCE.
 - SOLUTION OF ANY PROBLEM, UNFORESEEN AT THE TIME OF THE APPROVAL OF THE PLAN, WHICH MAY OR DO IMPAIR THE INTEGRITY OF ANY IMPROVEMENTS, INCLUDING PROBLEMS SUCH AS HIGH GROUND WATER, UNSTABLE SOIL, ETC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PUBLIC SAFETY AND SECURING THE SITE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL PUBLIC RIGHTS OF WAY AND ADJACENT PROPERTIES CLEAN AND SAFE FROM EXCESSIVE DUST AND DEBRIS RESULTING FROM DEMOLITION AND/OR CONSTRUCTION.
- THE LOCATION OF ANY UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION PRIOR TO BEGINNING EXCAVATION OR COMMENCING CONSTRUCTION AND SHALL BE FULLY RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES IN THE VICINITY OF THE PROJECT. NEW JERSEY ONE CALL WILL PROVIDE FOR ON-SITE DELINEATION OF EXISTING UTILITIES UPON REQUEST (1-800-272-1000).
- EXISTING MATERIALS DESIGNATED FOR REMOVAL SHALL BE REMOVED BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
- DISTURBED AREAS SHALL BE RESTORED AS SOON AS PRACTICAL.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND THE SITE CONDITIONS. THE CONTRACTOR SHALL PROCEED AT HIS OWN RISK PRIOR TO THE RESOLUTION IF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN SHUT DOWNS WITH NEW JERSEY AMERICAN WATER COMPANY.
- LIMITS OF PAVING (L.O.P.) SHALL BE SAWCUT AND SEALED WITH HOT JOINT SEALER.

ZONING ANALYSIS

OWNER:	NORTHFIELD METHODIST CHURCH P.O. BOX 762 NORTHFIELD, NJ 08225 PHONE NO: 609-641-3219
APPLICANT:	BRETT FOXMAN/WEBSTER PROPERTY MANAGEMENT, L.L.C. 1500 TILTON ROAD NORTHFIELD, NJ 08225
TAX MAP DESIGNATION:	BLOCK 106 LOT 8 SHEET #15
TRACT AREA:	0.735 ACRES (32,365 S.F.)
ZONE:	R2 (RESIDENTIAL)
PROPOSED USE:	PROPOSED LOT 8 (PLACE OF WORSHIP) - NO CHANGE PROPOSED LOT 8.01 (MEDICAL OFFICE)

SCHEDULE OF AREA, YARD, AND BUILDING REQUIREMENTS FOR (R2) RESIDENTIAL ZONE DISTRICT

PRINCIPAL BUILDING MINIMUM	REQUIRED	PROPOSED LOT 8.01	VARIANCE	PROPOSED LOT 8	VARIANCE
LOT AREA	7,500 S.F.	32,300 S.F.	NO	57,116 S.F.	NO
LOT WIDTH	70 FT	161.5 FT	NO	274.7 FT	NO
FRONT YARD	25 FT	25 FT	NO	43.3 FT	NO
SIDE YARD	10 FT	31 FT	NO	46.8 FT	NO
SIDE YARD TOTAL	25 FT	129.5 FT	NO	46.8 FT	NO
REAR YARD	25 FT	92 FT	NO	78.6 FT	NO
ACCESSORY BUILDING MINIMUM					
SIDE YARD	10 FT	N/A	N/A	198.4 FT	NO
REAR YARD	5 FT	N/A	N/A	42.7 FT	NO
MAXIMUM					
BUILDING COVERAGE	30%	7.9%	NO	14.1%	NO
IMPERVIOUS COVERAGE	45%	49.1%	YES*	47.1%	YES*
BUILDING HEIGHT	30 FT	29 FT	NO	NO CHANGE	NO
NUMBER OF STORIES	2.5	2.0	NO	NO CHANGE	NO
PARKING REQUIREMENTS					
MEDICAL OFFICE (CFA=5,116 S.F.)					
1 SPACE/150 SF GFA	34 SPACES	36 SPACES	NO	NO CHANGE	NO
ADA SPACES	2 SPACES	2 SPACES	NO	NO CHANGE	NO
LANDSCAPING REQUIREMENTS					
BUFFER BETWEEN PARKING AREA AND RESIDENTIAL ZONE	50 FT	20 FT	YES*	20 FT	YES*

* - VARIANCE REQUIRED

CONDITIONAL USE REQUIREMENTS \$215-145 PLACES OF WORSHIP

REQUIRED	EXISTING LOT 8	PROPOSED LOT 8	VARIANCE
A. LOT AREA MINIMUM 5 ACRES	2.05 ACRES	1.31 ACRES	YES**
B. LOT WIDTH MINIMUM 200 FT	436.2 FT	274.7 FT	NO
C. PRINCIPAL BUILDING SIDE/REAR YARD BUFFER MINIMUM 50 FT	208.3 FT; 78.6 FT	46.8 FT; 78.6 FT	YES*
E. BUILDING COVERAGE MAXIMUM 15%	9.0%	14.1%	NO

* - VARIANCE/WAIVER REQUIRED
** - EXISTING NONCONFORMING
1. CONDITIONS D, F, & G ARE NOT APPLICABLE OR NO CHANGES ARE PROPOSED

GENERAL NOTES AND LEGEND

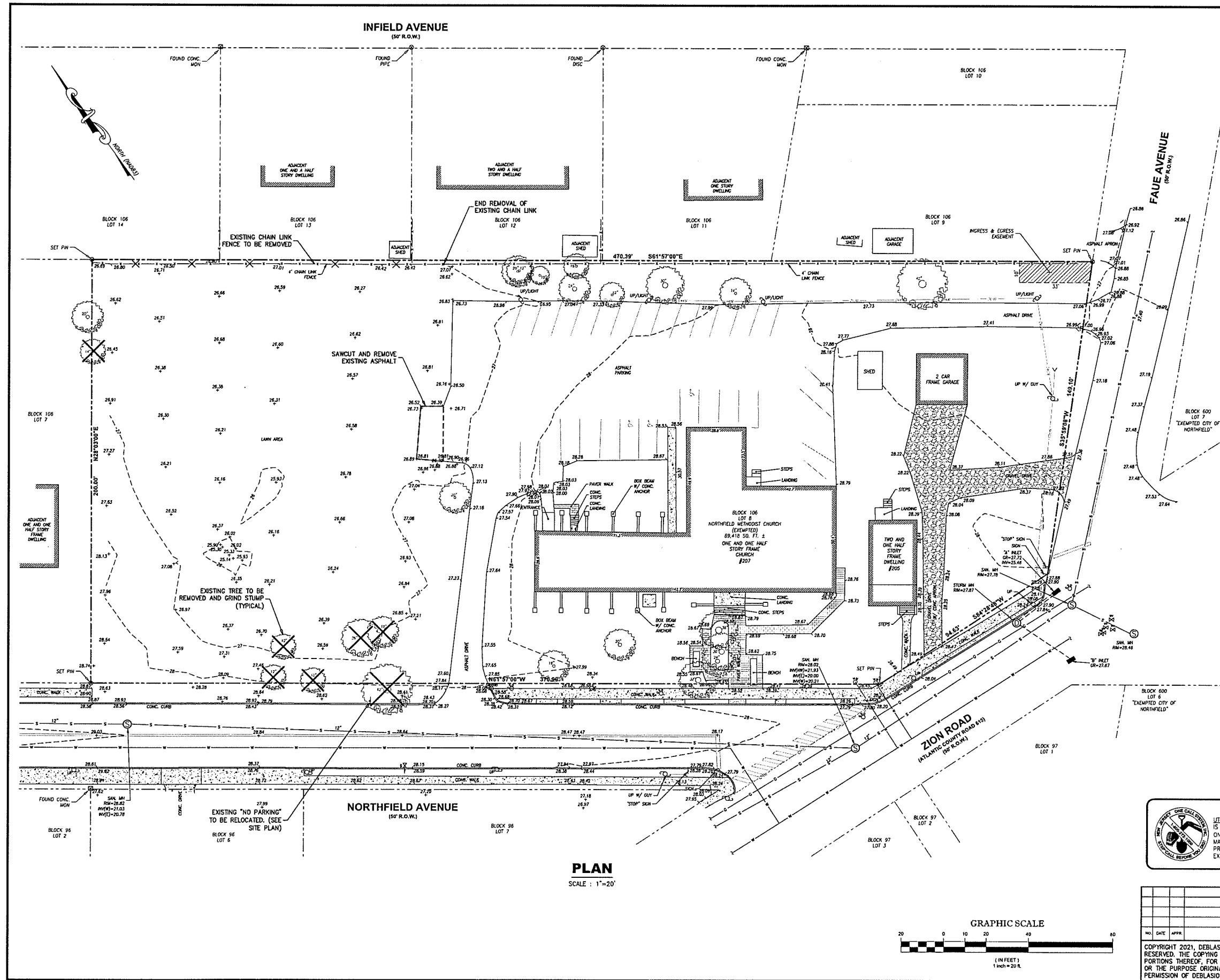
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Certification of Authorization No. 24CA28284900

**MAJOR SITE PLAN
PROPOSED MEDICAL OFFICE
BLOCK 106, LOT 8
CITY OF NORTHFIELD
ATLANTIC COUNTY, NEW JERSEY**

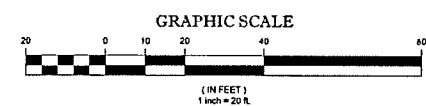
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Scale:	AS NOTED	Job No.:	PV-WP-20002	Sheet No.:	2	Total:	17

Marc A. DeBlasio 12/14/2021
DATE
MARC A. DEBLASIO, PE
New Jersey License No. 41599



- NOTES:**
- BOUNDARY AND TOPOGRAPHY INFORMATION SHOWN IS BASED ON A PLAN TITLED, "PLAN OF SURVEY, 207 NORTHFIELD AVENUE, BLOCK 106, LOT 8, CITY OF NORTHFIELD, ATLANTIC COUNTY, NEW JERSEY" PREPARED BY THE DEBLASIO & ASSOCIATES, P.C., DATED MARCH 31, 2021.
 - ELEVATIONS SHOWN HEREON ARE BASED ON N.A.V.D. 1988 DATUM.
 - BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON (NAD83).

PLAN
SCALE : 1"=20'



EXISTING CONDITIONS & DEMOLITION PLAN

DeBlasio & Associates
CONSULTING ENGINEERS AND PLANNERS

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Certification of Authorization No. 24CA28284900

**MAJOR SITE PLAN
PROPOSED MEDICAL OFFICE
BLOCK 106, LOT 8
CITY OF NORTHFIELD
ATLANTIC COUNTY, NEW JERSEY**

UTILITY MARKOUT REQUIRED; CONTRACTOR IS RESPONSIBLE TO CALL NEW JERSEY ONE CALL (800-272-1000) FOR UTILITY MARK-OUT 3 FULL BUSINESS DAYS PRIOR TO COMMENCEMENT OF EXCAVATION.

NO.	DATE	APPR.	REVISION

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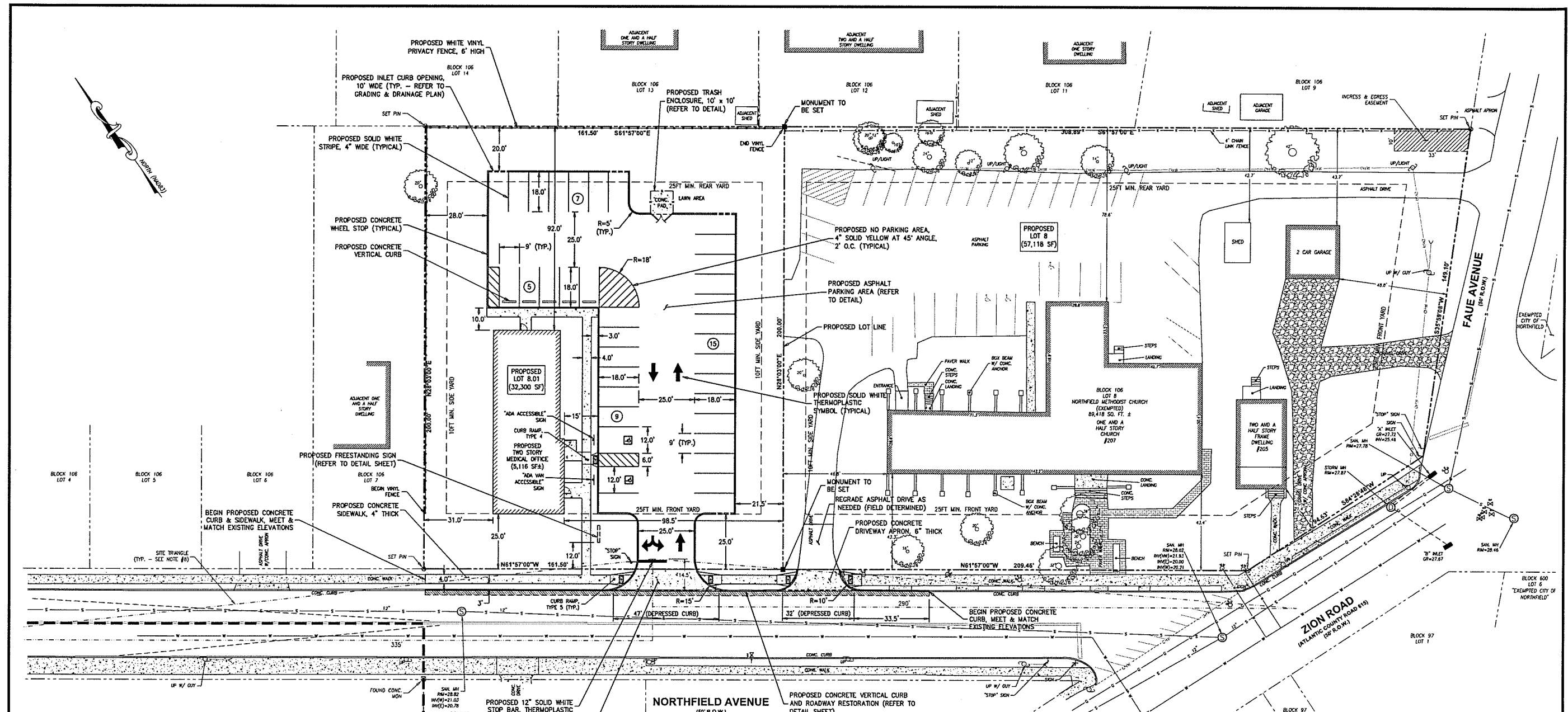
DATE: 12/14/2021

PROJECT: MAJOR SITE PLAN PROPOSED MEDICAL OFFICE BLOCK 106, LOT 8 CITY OF NORTHFIELD ATLANTIC COUNTY, NEW JERSEY

SCALE: AS NOTED SHEET NO.: 3 TOTAL SHEETS: 12

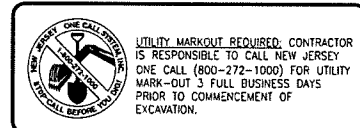
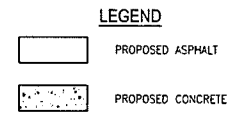
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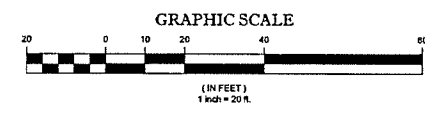


PLAN
SCALE: 1"=20'

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 - ELEVATIONS SHOWN HEREON ARE BASED ON N.A.V.D. 1988 DATUM.
 - BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON (NAD83).
 - ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
 - THE PROPOSED BUILDING IS TO BE SERVICED BY PUBLIC SEWER AND WATER.
 - ALL ACCESSIBLE FACILITIES SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE NJ BARRIER-FREE SUBCODE 5.23-7 AND CURRENT ADA REQUIREMENTS.
 - THE POSTED SPEED LIMIT FOR NORTHFIELD AVENUE IS 25 M.P.H.
 - SIGHT TRIANGLES SHOWN IN ACCORDANCE WITH NJDOT DESIGN MANUAL - ROADWAY, AT GRADE INTERSECTIONS, FIGURE 6-A PER DESIGN SPEED 30 MPH FOR VEHICLE TYPE P.



UTILITY MARKOUT REQUIRED, CONTRACTOR IS RESPONSIBLE TO CALL NEW JERSEY ONE CALL (800-272-1000) FOR UTILITY MARK-OUT 3 FULL BUSINESS DAYS PRIOR TO COMMENCEMENT OF EXCAVATION.



SITE PLAN

DeBlasio & Associates
CONSULTING ENGINEERS AND PLANNERS

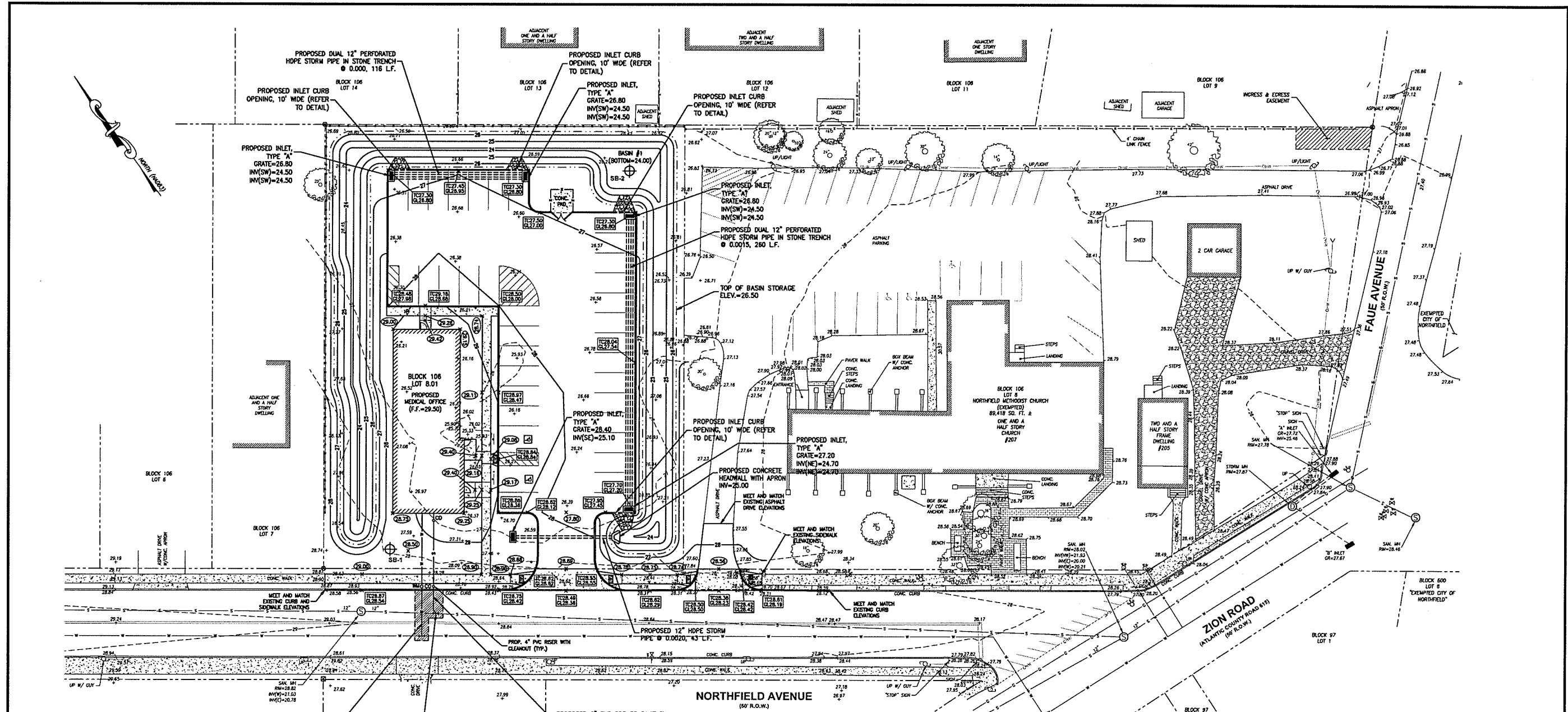
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CITY OF NORTHFIELD
ATLANTIC COUNTY, NEW JERSEY

Design:	Genl.:	Check:	Date:
BH	BH	MD	12/14/2021

Marc A. DeBlasio 12/14/2021
MARC A. DEBLASIO, PE
New Jersey License No. 41599

Scale:	As Noted	Proj. No.:	PV-2002	Sheet No.:	4	Total:	12
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PROPOSED WATER SERVICE, WATER METER AND PIT TO BE INSTALLED BY NEW JERSEY AMERICA WATER COMPANY

PROPOSED 6" PVC SDR 35 SANITARY SEWER LATERAL, SLOPE MINIMUM 1/4" PER FT. (JOINTS SHALL BE WATERTIGHT)

PLAN
SCALE: 1"=20'

LEGEND

PROPOSED TRENCH/PAVEMENT RESTORATION (REFER TO DETAIL)

NOTES:

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UTILITY MARKOUT REQUIRED; CONTRACTOR IS RESPONSIBLE TO CALL NEW JERSEY ONE CALL (800-272-1000) FOR UTILITY MARK-OUT 3 FULL BUSINESS DAYS PRIOR TO COMMENCEMENT OF EXCAVATION.

UTILITY, DRAINAGE & GRADING PLAN
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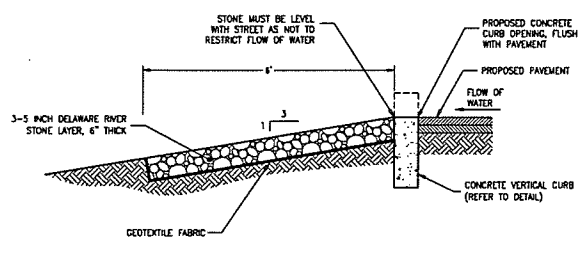
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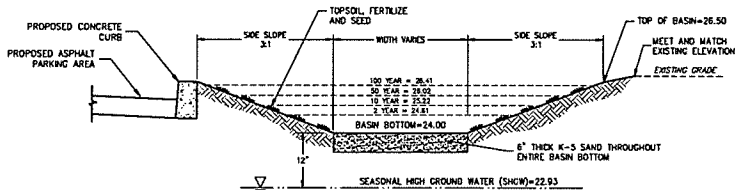
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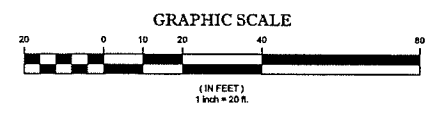
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SHEET NO. 5 OF 12



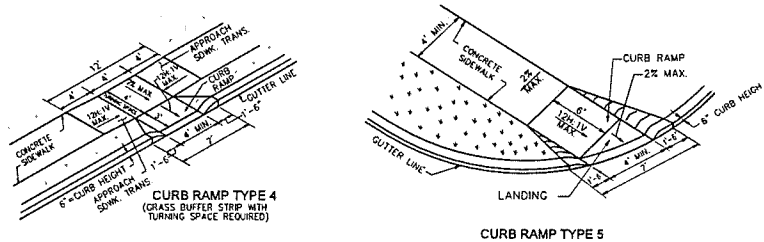
CURB INLET PROTECTION DETAIL
N.T.S.



TYPICAL DETENTION BASIN #1 CROSS SECTION
N.T.S.

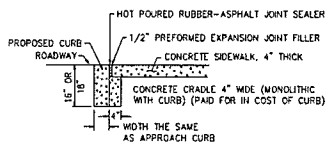


GRAPHIC SCALE

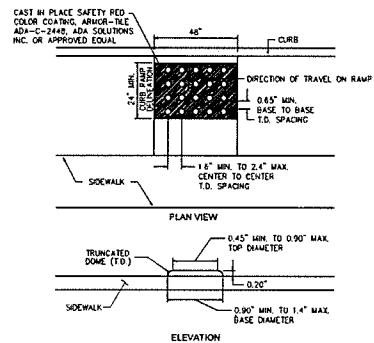


- GENERAL NOTES:**
- KEEP TURNING SPACE, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP CLEAR OF OBSTRUCTIONS THAT PROTRUDE ABOVE THE SIDEWALK.
 - CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMPS.
 - THE PUBLIC SIDEWALK CURB RAMP, DETECTABLE WARNING SURFACE (SHADED AREA) SHALL BE SAFETY RED COLOR ON CONCRETE OR 70% COLOR CONTRAST FOR OTHER SURFACE SUCH AS BRICK.

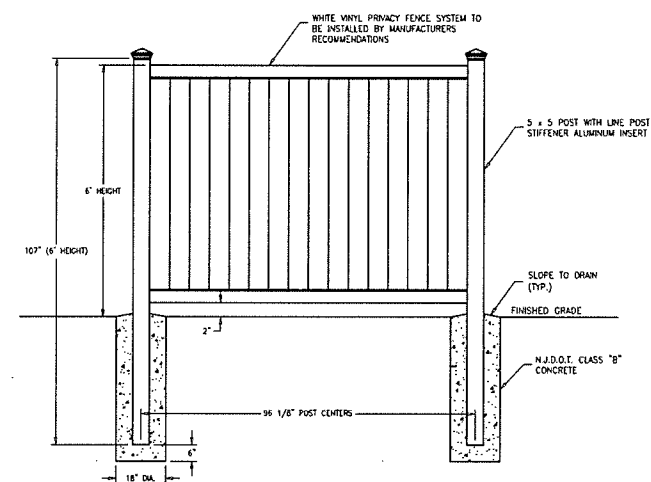
PUBLIC SIDEWALK CURB RAMPS
N.T.S.



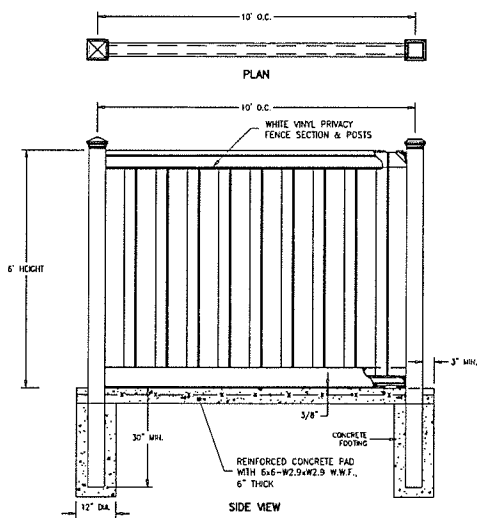
DROPPED CURB AND CRADLE AT ALL PUBLIC SIDEWALK CURB RAMPS
N.T.S.



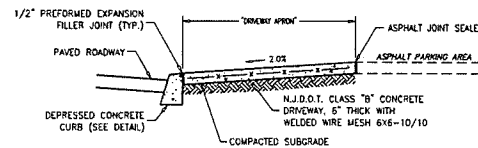
DETECTABLE WARNING SURFACE
N.T.S.



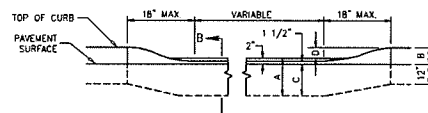
VINYL PRIVACY FENCE DETAIL
N.T.S.



TRASH ENCLOSURE DETAIL
N.T.S.

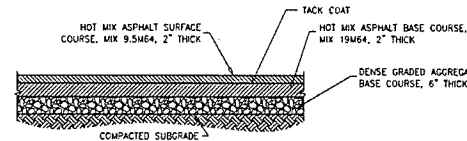


CONCRETE DRIVEWAY APRON SECTION
N.T.S.

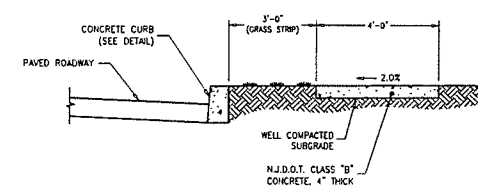


CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D	DIM. E
8" x 18"	18"	6"	16"	4"	8"
9" x 18"	18"	6"	16"	4"	9"

METHOD OF DEPRESSED CURB AT DRIVEWAYS
N.T.S.

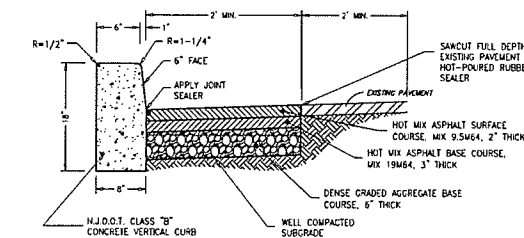


TYPICAL PARKING LOT PAVEMENT SECTION
N.T.S.



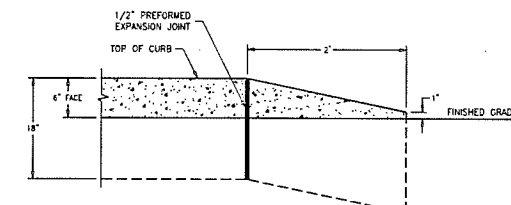
NOTE:
1. A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK AND EXTENDING THE FULL WIDTH OF THE SIDEWALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET. CONTROL JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL SIDEWALK WIDTH.

CONCRETE SIDEWALK DETAIL
N.T.S.

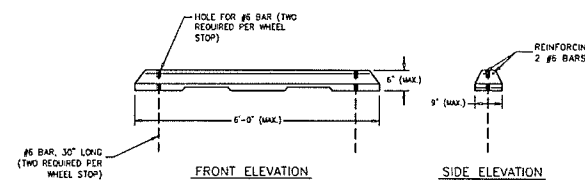


- NOTES:**
- TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20"-0" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF ASTM M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF CURB.
 - DILATY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.

CONCRETE VERTICAL CURB AND PAVEMENT RESTORATION DETAIL
N.T.S.



CURB TAPER DETAIL
N.T.S.



PRECAST CONCRETE WHEEL STOP
N.T.S.

PROPOSED

LETTER WILL BE 4"
PROPERTY ADDRESS NUMBER TO BE DETERMINED

battleship gray 870 for all the gray
white for top swoosh
vinyl colors forest green 785
orange is 360
sunflower yellow is 240

Colors shown are only approximations. actual colors produced may vary. If an exact color match is desired see your sales representative for a pre-production color sample. Actual sign size may vary. Sign may include seams, overlaps, and may be panelled. Multiple pieces of material may be used.
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FREESTANDING SIGN DETAIL
N.T.S.

SITE DETAILS

DeBlasio & Associates
CONSULTING ENGINEERS AND PLANNERS

4701 NEW JERSEY AVENUE
MILWOOD, NJ 08260
PHONE (609) 854-4311
FAX (609) 854-4323
WWW.DEBLASSIOASSOC.COM
Certification of Authorization No. 240A28284900

MAJOR SITE PLAN
PROPOSED MEDICAL OFFICE
BLOCK 106, LOT 8
CITY OF NORTHFIELD
ATLANTIC COUNTY, NEW JERSEY

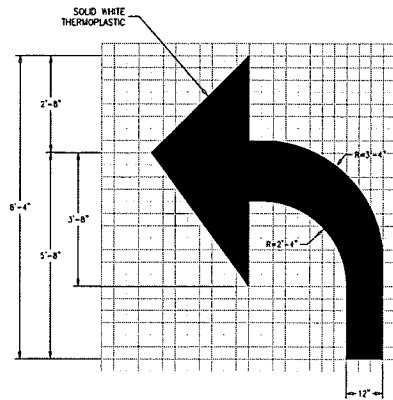
Design	Revised	Check	Date
RH	RH	MAD	12/14/2021

Marc A. DeBlasio 12/14/2021
MARC A. DEBLASIO, PE

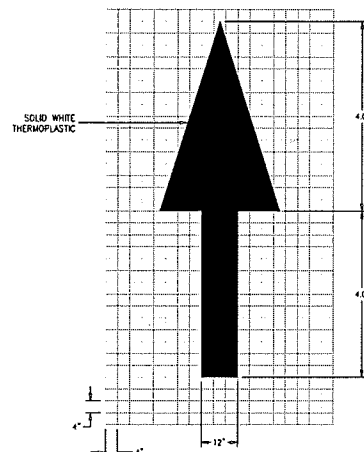
New Jersey License No. 41599
Scale: AS NOTED Job No.: PV-WM-20002 Sheet No.: 6 of 12

NO. DATE APPR. REVISION

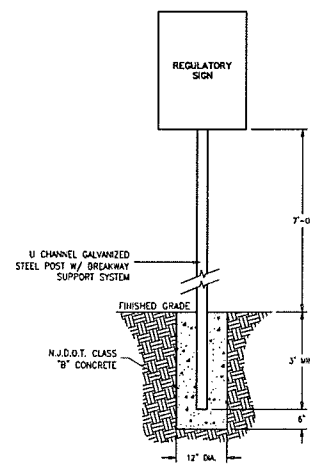
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TURN ARROW PAVEMENT MARKING
N.T.S.



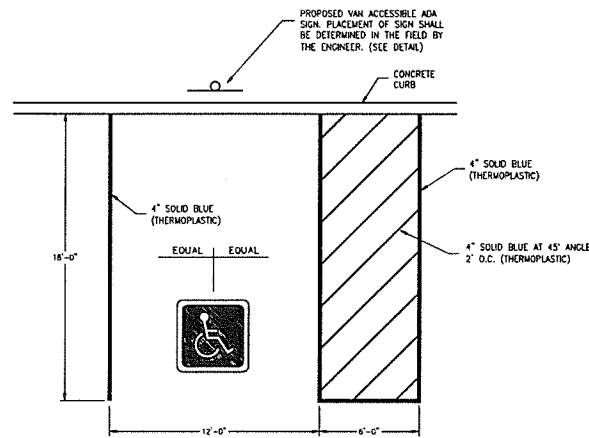
STRAIGHT ARROW PAVEMENT MARKINGS
N.T.S.



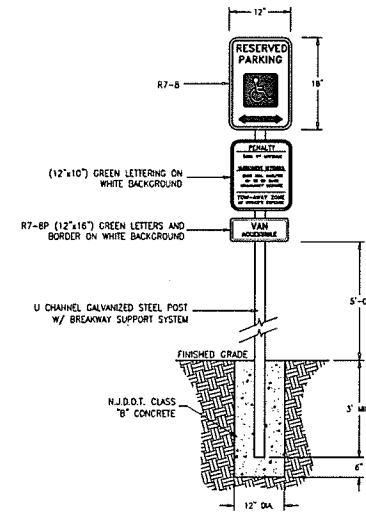
REGULATORY SIGN AND POST DETAIL
N.T.S.



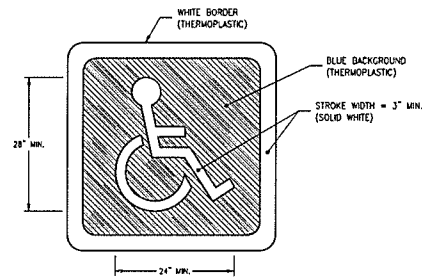
- NOTES:**
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND AS INDICATED BELOW.
 2. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. A123.
 3. ALL STEEL U-POST SIGN SUPPORTS MUST BE INSTALLED FACING THE PREDOMINANT TRAFFIC FLOW. A MOUNTING BRACKET SHOULD BE USED ON SIDE MOUNTED SIGNS SUCH AS 'ONE WAY' SIGNS INSTALLED IN MEDIANS.
 4. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT, BUT SHALL ENGAGE ALL THREADS IN THE NUT.



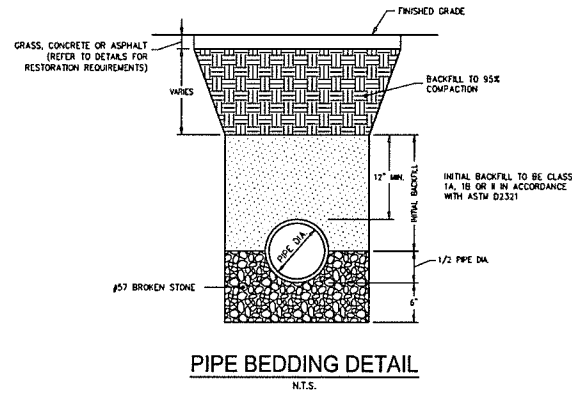
ADA ACCESSIBILITY PARKING STALL LAYOUT
N.T.S.



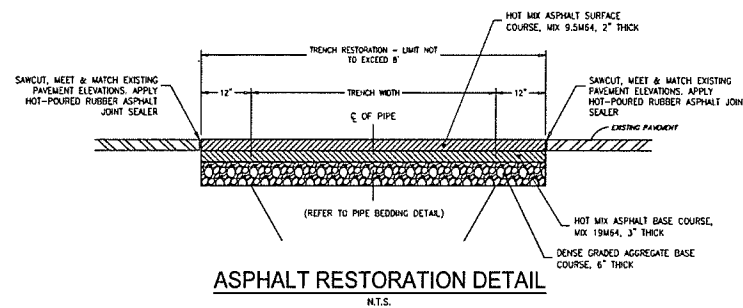
ACCESSIBILITY PARKING SIGN AND POST DETAIL
N.T.S.



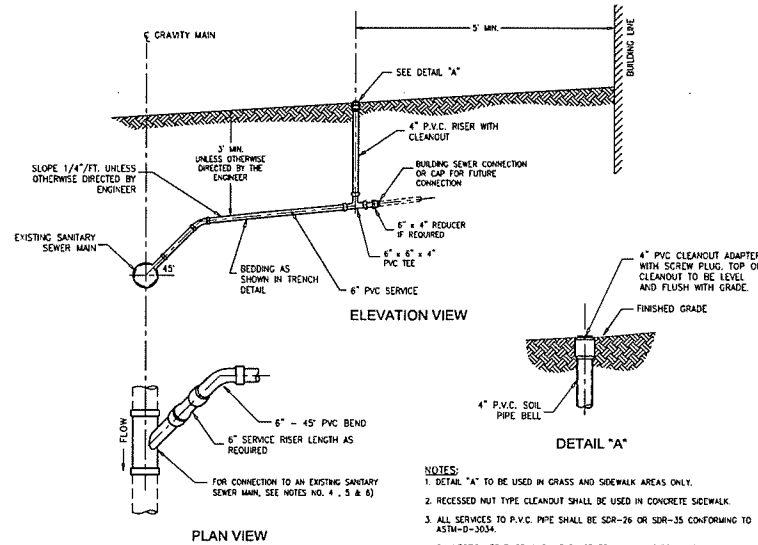
ADA ACCESSIBILITY PAVEMENT SYMBOL
N.T.S.



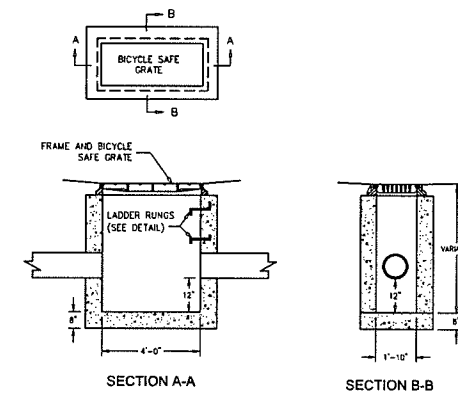
PIPE BEDDING DETAIL
N.T.S.



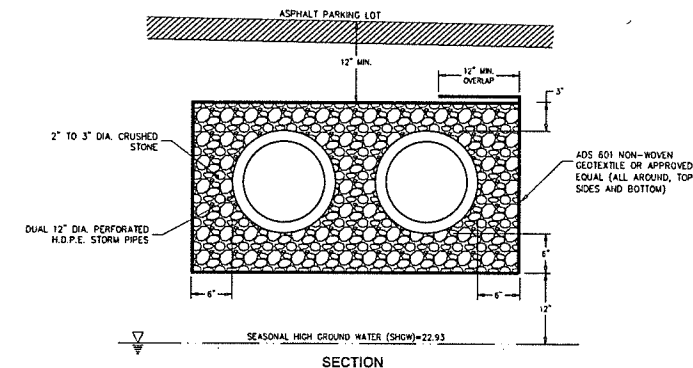
ASPHALT RESTORATION DETAIL
N.T.S.



TYPICAL SANITARY SEWER SERVICE LATERAL
N.T.S.



PRECAST CONCRETE INLET, TYPE "A"
N.T.S.



PERFORATED STORM PIPE IN STONE TRENCH DETAIL
N.T.S.

SITE DETAILS

DeBlasio & Associates
CONSULTING ENGINEERS AND PLANNERS

4701 NEW JERSEY AVENUE
WILDWOOD, NJ 08260
PHONE (609) 854-3311
FAX (609) 854-4323
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Certification of Authorization No. 24GAJ284900

**MAJOR SITE PLAN
PROPOSED MEDICAL OFFICE
BLOCK 106, LOT 8
CITY OF NORTHFIELD
ATLANTIC COUNTY, NEW JERSEY**

DESIGN:	CHK:	DATE:	DATE:
RH	RH	MAD	12/14/2021

Marc DeBlasio 12/14/2021
MARC A. DEBLASIO, PE
New Jersey License No. 41599

NO.	DATE	APPR.	REVISION

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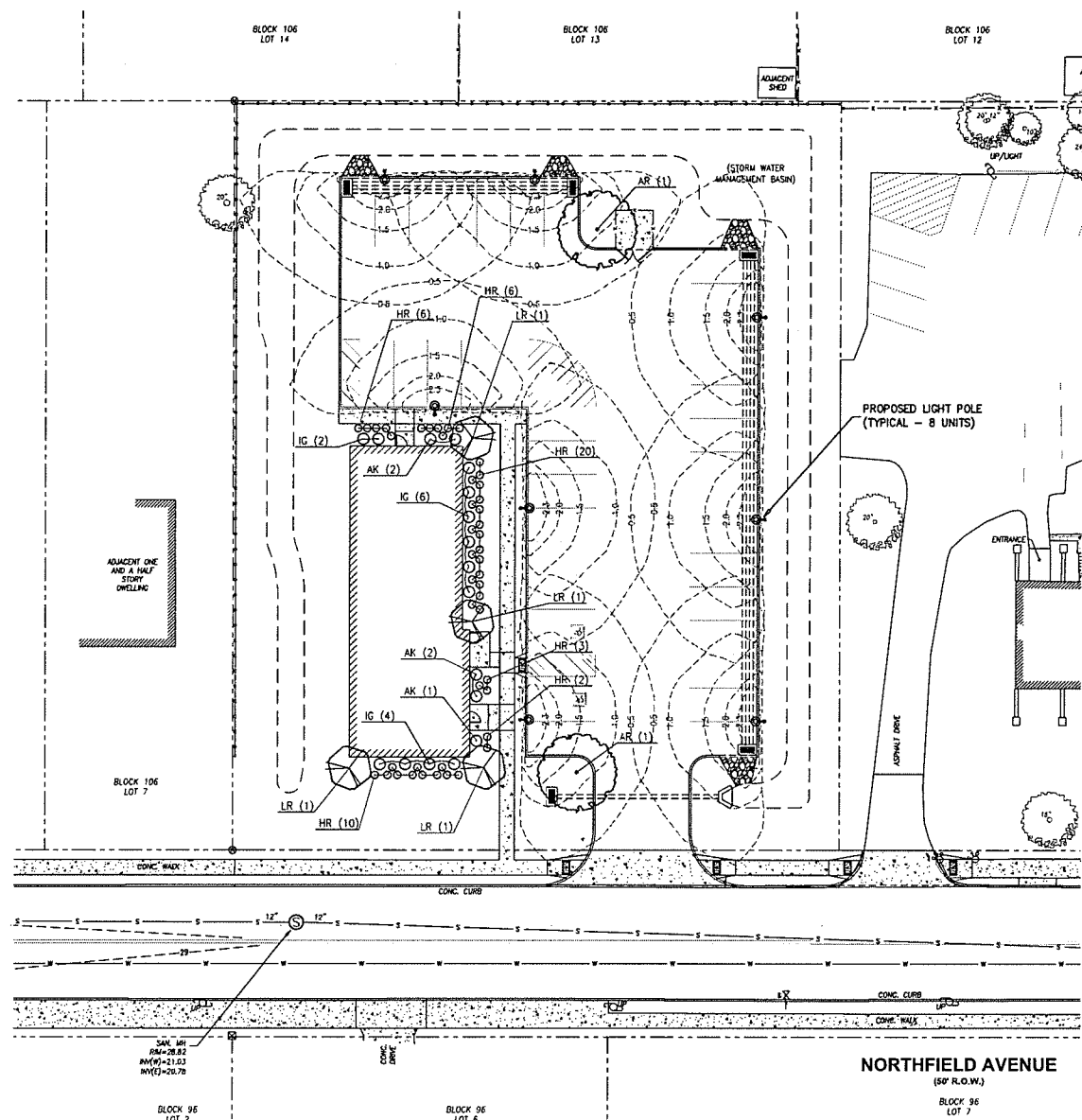
SCALE:	AS NOTED	DATE:	12
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PLANTING NOTES:

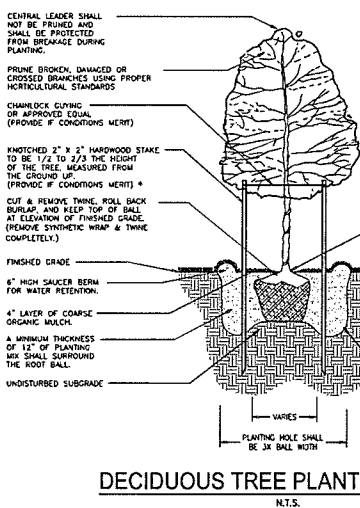
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE FREE FROM DEFECTS, DISFORMING ANDS, ABRASIONS OF THE BARK, SUNSCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFECTIONS. ALL PLANT MATERIAL INSTALLED BETWEEN OCTOBER 15 AND MARCH 15 SHALL BE THOROUGHLY WETTED WITH AN ANTI-TRANSPIRANT UPON DELIVERY OF THE MATERIAL TO THE SITE.
- QUALITY AND SIZE OF PLANT, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. THE TRANSPORTING AND PACKING OF TREES AND SHRUBS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "ANSI A300 PART 6: TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE-STANDARD PRACTICES (TRANSPORTING)".
- ALL PLANTS SHALL BE PROTECTED AND HANDLED WITH UTMOST CARE TO INSURE ADEQUATE PROTECTION AGAINST NURSERY AND DISEASE. EACH SHIPMENT SHALL BE CERTIFIED TO BE FREE FROM DISEASES AND INFESTATIONS. ANY INSPECTION CERTIFICATES REQUIRED BY LAW TO THIS EFFECT SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER OF STOCK. AND UPON ARRIVAL, THE CERTIFICATE SHALL BE FILED WITH THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL SHALL BE PLANTED BY THE CONTRACTOR UNTIL IT IS INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR HIS AGENT AT THE SITE. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE SHALL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF THE MATERIALS. ALL REJECTED MATERIALS SHALL BE IMMEDIATELY REPLACED WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST.
- DECIDUOUS AND EVERGREEN TREES SHALL BE FIELD ADJUSTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM ANY OVERHEAD UTILITY WIRES AND/OR UNDERGROUND UTILITIES.
- DECIDUOUS AND EVERGREEN TREES SHALL BE PLANTED AT LEAST TWO (2) FEET FROM ANY CURBING, PAVING, OR SIDEWALK. WHENEVER POSSIBLE THIS DIMENSION SHOULD BE INCREASED TO FOUR (4) FEET. ALL PLANTINGS, EXCEPT GROUND COVERS, SHOULD BE PLANTED AT LEAST TWO (2) FEET FROM ANY BUILDING AND FIVE (5) FEET FROM ABOVE AND BELOW GROUND UTILITIES.
- PLANTING MIXTURE SHALL CONSIST OF 70% EXISTING SOIL FROM THE PLANTING SITE AND 30% HUMUS OR MUSHROOM SOIL. FROM TO USING EXISTING TOPSOIL, REMOVE ALL FOREIGN DEBRIS AND ALL ROCKS OR STONES LARGER THAN 2 INCHES. EACH CUBIC YARD SHALL BE ADDED AND INCORPORATED BY THOROUGHLY MIXING, FOUR POUNDS OF COMMERCIAL FERTILIZER HAVING AN ANALYSIS OF 8-8-8.
- ALL PLANTS (BAG OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS AND SECURELY ATTACHED THEREON BEFORE DELIVERY TO THE PROJECT SITE. LABELS SHALL IDENTIFY THE PLANTS BY COMMON NAME, BOTANICAL NAME AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SCALE PLANT LOCATIONS FROM THE PLANS AND STATE LOCATIONS ON-SITE FOR APPROVAL BY THE OWNER.
- ALL SEEDED AREAS THAT DO NOT SHOW A PROMPT UNIFORM GERMINATION SHALL BE RESEED BY THE LANDSCAPE CONTRACTOR AT INTERVALS OF 45 - 60 DAYS, UNTIL A GOOD GROWTH IS ESTABLISHED OVER THE ENTIRE LAWN AREA.
- ALL PLANT BEDS SHALL BE MULCHED WITH FOUR (4) INCHES OF DOUBLE SHREDDED HARDWOOD BARK MULCH OR OTHER MATERIAL APPROVED BY THE LANDSCAPE ARCHITECT. THE LIMIT OF THE MULCH FOR TREES SHALL EXTEND 12 INCHES BEYOND THE PLANTING HOLE, AND FOR SHRUBS AND BEDS, THE ENTIRE SHRUB OR BED AREA AS INDICATED ON THE PLAN OR APPROVED IN THE FIELD. NO MULCH SHALL BE PLACED WITHIN THREE (3) INCHES OF THE TRUNK OR TRUNK FLARE.
- ALL PLANTING BEDS SHALL BE RODENTILLED TO A DEPTH OF TEN (10) INCHES PRIOR TO ANY PLANTING. ALL STONES, WIRE, CONCRETE AND UNSUITABLE MATERIALS SHALL BE REMOVED. ALL SHRUB PLANTINGS SHALL BE INSTALLED IN MULCHED PLANTING BEDS EXTENDING AT LEAST TWO (2) FEET FROM THE PLANTS OR AS INDICATED ON THE APPROVED PLANS.
- PLANTING BEDS SHALL BE THOROUGHLY EXCAVATED, AND BACKFILLED WITH THE PLANT MIXTURE DESCRIBED IN 7 ABOVE. ALL PAVEMENT SUB-BASE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE PLANTING BEDS UNTIL THE VIRGIN SOIL IS REACHED.
- IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME THE RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREAS BEYOND THE GUARANTEE PERIOD FROM COMMENCING WITH THE DATE OF FINAL ACCEPTANCE.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF TWO (2) YEARS FROM THE COMPLETION DATE OF INSTALLATION. ANY PLANT MATERIAL THAT IS 25% DEAD OR MORE SHOULD BE CONSIDERED DEAD AND MUST BE REPLACED. A TREE SHOULD BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK OR WHEN 25% OF THE CROWN IS DEAD. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE EXCAVATING.
- THE LANDSCAPE ARCHITECT OR HIS AGENT SHALL BE NOTIFIED OF ANY RELOCATION OF PLANTS MADE NECESSARY BY UTILITIES OR OTHER EXISTING FEATURES PREVENTING THE CONTRACTOR FROM IMPLEMENTATION OF THE PLANTING PLAN AS DRAWN. SUCH NOTIFICATION SHALL BE MADE BEFORE THE FIELD CHANGE IS CARRIED OUT.
- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, AND EQUIPMENT, INCIDENTALS AND CLEAN UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES AND ALIGNMENT. SET ALL PLANTS PLUMB AND STRAIGHT. SET SHRUBS AT SUCH A LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED ON A MINIMUM OF TWO (2) INCHES ABOVE THE FINISHED GRADE. FOR TREE PLANTINGS, THE CONTRACTOR SHALL LOCATE THE HIGHEST ROOT FLARE PRIOR TO DIGGING THE PLANTING HOLE. THE PLANTING HOLE SHALL BE EXCAVATED TO A DEPTH THAT ENSURES THE TRUNK FLARE IS VISIBLE AND THAT THE HIGHEST ROOT FLARE IS FLESH WITH EXISTING GRADE. TREES PLANTED LOWER OR HIGHER WILL BE REJECTED. LOCATE ALL PLANTS IN THE CENTER OF THE PIT.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PLANT MATERIAL.
- INsofar AS PRACTICABLE, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED LONGER THAN A TWO (2) DAY PERIOD AFTER DELIVERY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICE.
- ALL NON-Biodegradable ROOT WRAPPINGS (INCLUDING WIRE BASKETS) ARE TO BE REMOVED COMPLETELY BEFORE PLANTING.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. SHEARS ARE TO BE STERILIZED BETWEEN TREES.
- ALL NAIRED ROOTS SHALL BE PRUNED BEFORE PLANTING, AND OBVIOUS GROUNDING ROOTS REMOVED, PRUNED OR EXTENDED AS APPROPRIATE. IT IS ADVISABLE TO PRUNE BRANCHES WHICH CROSS. THE MAIN LEADER OF DECIDUOUS TREES SHOULD NOT BE CUT BACK. LONG SIDE BRANCHES MUST BE SHORTENED.
- UNLESS OTHERWISE NOTED, ALL DECIDUOUS AND EVERGREEN TREES SHALL HAVE A SINGLE TRUNK.
- DECIDUOUS AND EVERGREEN TREES WHICH ARE BAG SHALL BE DRUM LACED IN LIEU OF WIRE BASKETS.

IRRIGATION NOTES:

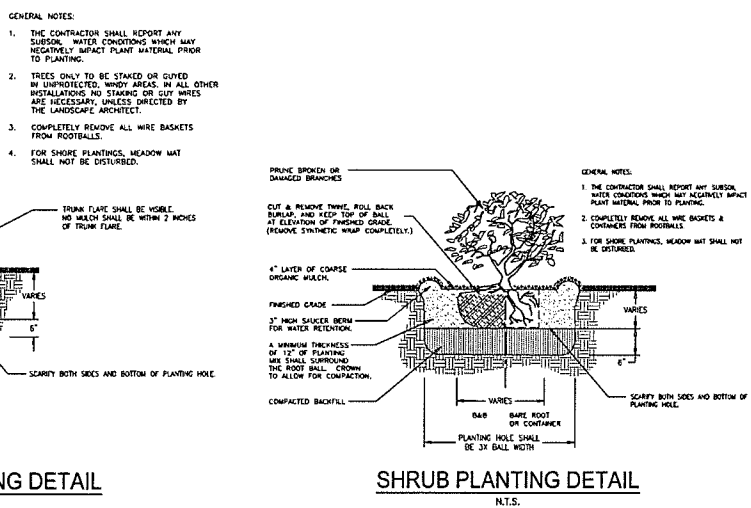
- AN AUTOMATED IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL LAWN AREAS AND PLANTING BEDS AS REQUIRED BY TOWNSHIP ORDINANCE.
- ALL LANDSCAPING SHALL BE ADEQUATELY IRRIGATED AND PROVIDED WITH A RAIN SENSOR.



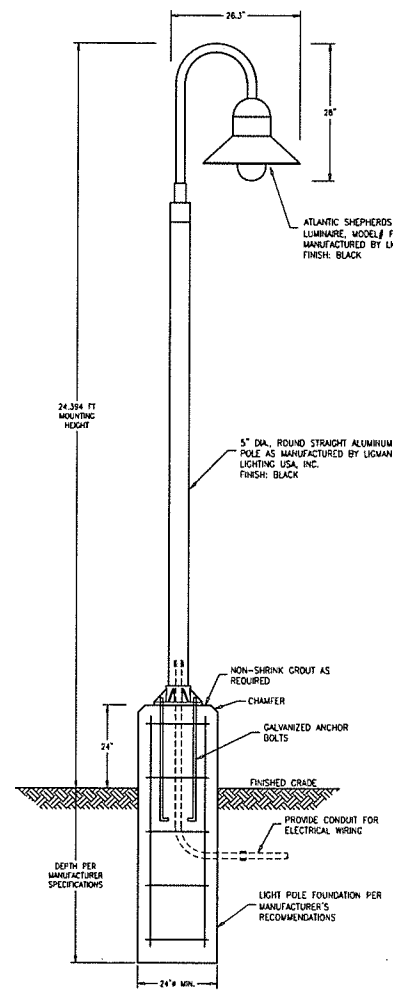
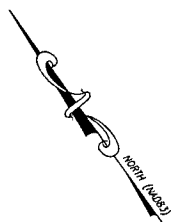
PLAN
SCALE: 1"=20'



DECIDUOUS TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.

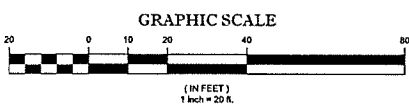


LIGHT POLE DETAIL
N.T.S.

NOTES:
1. POLES AND LUMINAIRES SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

PLANT LIST					
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
AK	ACEI RUBRUM	RED SUMMIT	2	12-14" HT.	BAG
AK	RED RUBRUM	RED MAPLE	2	12-14" HT.	BAG
LR	LACINIIFOLIA	IRISH SPICE	4	4-5 FT.	MULTI-STEM
IG	IGNA	COMPACT HYDRANGEA	12	18-24" HT.	22 CM
HR	HEMISPHERICA	HAPPY RETURN	43	2 GAL.	CONTAINER
AK	INDICATA	DELICATE VALLEY WHITE	5	18-24" HT.	22 CM

NOTE:
1. ALL EXISTING GRASS AREAS NOT OCCUPIED BY BUILDINGS, STRUCTURES AND PAVING (EXCEPT WHERE NOTED) TO BE MAINTAINED AND PLANTING BEDS SHALL BE PREPARED AND SEEDS AS SPECIFIED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.



LIGHTING NOTES:

- ALL SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF NORTHFIELD AND THE RECOMMENDATIONS OF THE ILLUMINATING ENGINEER SOCIETY OF NORTH AMERICA (IESNA).
- ALL LIGHTING FIXTURES SHALL BE APPROPRIATELY SHIELDED TO PREVENT GLARE ON ADJACENT PROPERTIES AND STREETS. GLARE SHIELDS SHALL BE INSTALLED IN SUCH A WAY THAT NO MORE THAN 1/2 (0.5) FOOTCANDLE IS VISIBLE AT THE PROPERTY LINE.
- ALL SITE LIGHTING SHALL RECEIVE UNDERGROUND ELECTRICAL SERVICE.
- ALL SITE LIGHTING SHALL BE INSTALLED BY THE CONTRACTOR AND SHALL BE MAINTAINED BY THE OWNER AFTER INSTALLATION.
- SITE LIGHTING SPECIFIED ON THIS PLAN SHALL BE INSTALLED PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

LIGHTING AND LANDSCAPING PLAN

DeBlasio & Associates
CONSULTING ENGINEERS AND PLANNERS

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FAX: (609) 854-4323
WWW.DEBLASIOASSOCIATES.COM
Certification of Authorization No. 24CA28284900

MAJOR SITE PLAN
PROPOSED MEDICAL OFFICE
BLOCK 106, LOT 8
CITY OF NORTHFIELD
ATLANTIC COUNTY, NEW JERSEY

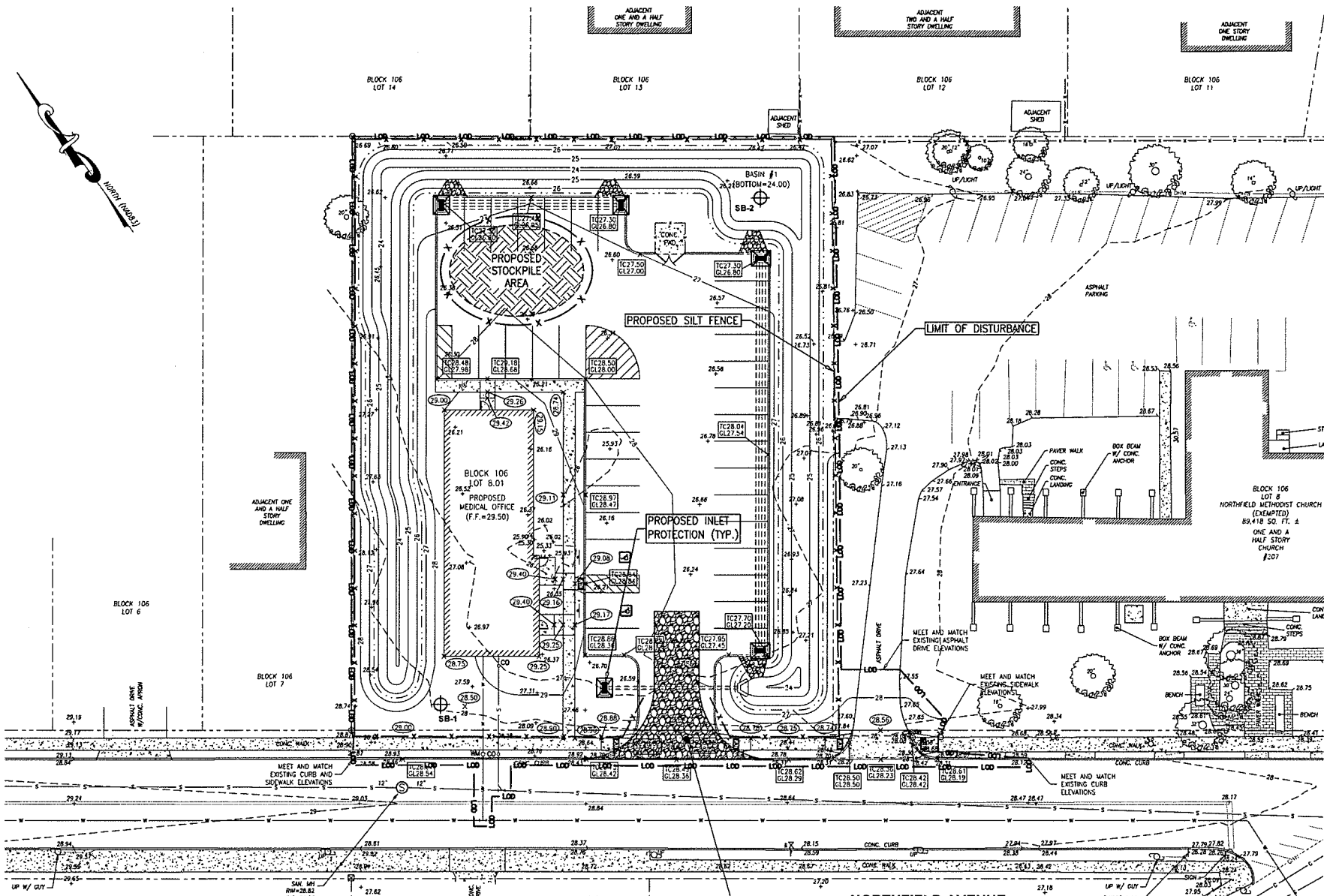
Design:	Drawn:	Check:	Date:
MWA	MWA	MAD	12/14/2021

Marc A. DeBlasio 12/14/2021
MARC A. DEBLASIO, PE
New Jersey License No. 41599

NO. DATE APPR. REVISION

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Scale: AS NOTED
Sheet No: 6
Total: 12



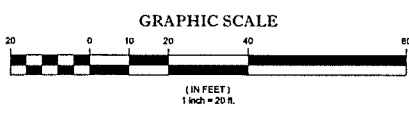
PLAN

SCALE: 1"=20'

LIMIT OF DISTURBANCE = 0.823 ACRES±

LEGEND

- X — PROPOSED SILT FENCE
- ⊠ PROPOSED INLET PROTECTION
- L—L— PROPOSED LIMIT OF DISTURBANCE



SOIL BORING LOG #1 (CLOSEST TO NORTHFIELD AVENUE)

BLOCK 106, LOT 8; CITY OF NORTHFIELD; ATLANTIC COUNTY
Excavated by Junetta N. Dix with 4" hand auger on September 28, 2021

DEPTH (INCHES)	SOIL DESCRIPTION
0 - 14"	10YR 4/2 Dark grayish brown medium loam; 0% coarse material content; angular blocky; friable; few roots.
14 - 26"	10YR 5/4 Yellowish brown medium loam; 0% coarse material content; angular blocky; friable.
26 - 58"	10YR 6/4 Light yellowish brown medium sandy loam; 0% coarse material content; angular blocky; friable. <i>Permeability rate = 11.907 in/hr. (K4)</i>
58 - 64"	10YR 8/4 Very pale brown coarse sand; 2% gravel content; single grained; loose; with common, distinct 10 YR 5/6 yellowish brown mottles at 58"; damp but no obvious seepage.

Soil Sample Depth: 36"
 Depth to estimated SHWT: 58"
 Restrictive Horizon: None Encountered
 Depth to groundwater: Not Encountered

SOIL BORING LOG #2 (CLOSEST TO REAR PROPERTY LINE)

BLOCK 106, LOT 8; CITY OF NORTHFIELD; ATLANTIC COUNTY
Excavated by Junetta N. Dix with 4" hand auger on September 28, 2021

DEPTH (INCHES)	SOIL DESCRIPTION
0 - 4"	10YR 4/2 Dark grayish brown medium loam; 0% coarse material content; angular blocky; friable; few roots.
4 - 30"	10YR 6/6 Brownish yellow medium loamy sand; 0% coarse material content; angular blocky; friable.
30 - 36"	10YR 6/6 Brownish yellow medium to coarse sand; 2% gravel content; angular blocky; friable.
36 - 42"	10YR 5/6 Yellowish brown medium loamy sand; 2% gravel content; angular blocky; friable; <i>Permeability rate = 14.032 in/hr. (K4)</i>
42 - 48"	10YR 8/4 Very pale brown medium sand; 0% coarse material content; angular blocky; friable; with common, distinct 10 YR 5/6 yellowish brown mottles at 42".
48 - 64"	10YR 8/3 Very pale brown fine sand; 0% coarse material content; angular blocky; friable; with common, distinct 10 YR 5/6 yellowish brown mottles throughout horizon; damp, but no obvious seepage.

Soil Sample Depth: 40"
 Depth to estimated SHWT: 42"
 Restrictive Horizon: None Encountered
 Depth to groundwater: Not Encountered

GENERAL NOTES:

- A REPORT OF COMPLIANCE MUST BE OBTAINED FROM THE DISTRICT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FROM THE MUNICIPALITY. A REQUEST FOR A DISTRICT INSPECTION FOR THE RELEASE OF A REPORT OF COMPLIANCE MUST BE MADE 5 WORKING DAYS IN ADVANCE. THIS APPLIES TO BOTH COMPLETE (FINAL) AND CONDITIONAL (TEMPORARY) CERTIFICATES. ALL STREETS AND UNITS MUST BE PROPERLY IDENTIFIED. A REPORT OF COMPLIANCE WILL NOT BE RELEASED FOR A UNIT IF IT CAN NOT BE IDENTIFIED. IDENTIFY ALL UNITS AT THE SITE BY BLOCK, LOT, AND STREET ADDRESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT THAT MAY BE SPILLED, DRIPPED OR TRACKED OFF THE PROJECT SITE. ALL PAVED RIGHT-OF-WAYS ADJACENT TO THE PROJECT SITE MUST BE MAINTAINED IN A CLEAN, SWEEP CONDITION THROUGHOUT CONSTRUCTION.
- SILT FENCE SHALL REMAIN UNTIL GRASS IS ESTABLISHED ON THE PROPOSED SITE.

SOIL EROSION & SEDIMENT CONTROL PLAN

DeBlasio & Associates
 CONSULTING ENGINEERS AND PLANNERS

4701 NEW JERSEY AVENUE
 WILDWOOD, NJ 08260
 PHONE: (609) 854-3311
 FAX: (609) 854-4323
 WWW.DEBLASIOASSOC.COM
 Certification of Authorization No. 24CA28284900

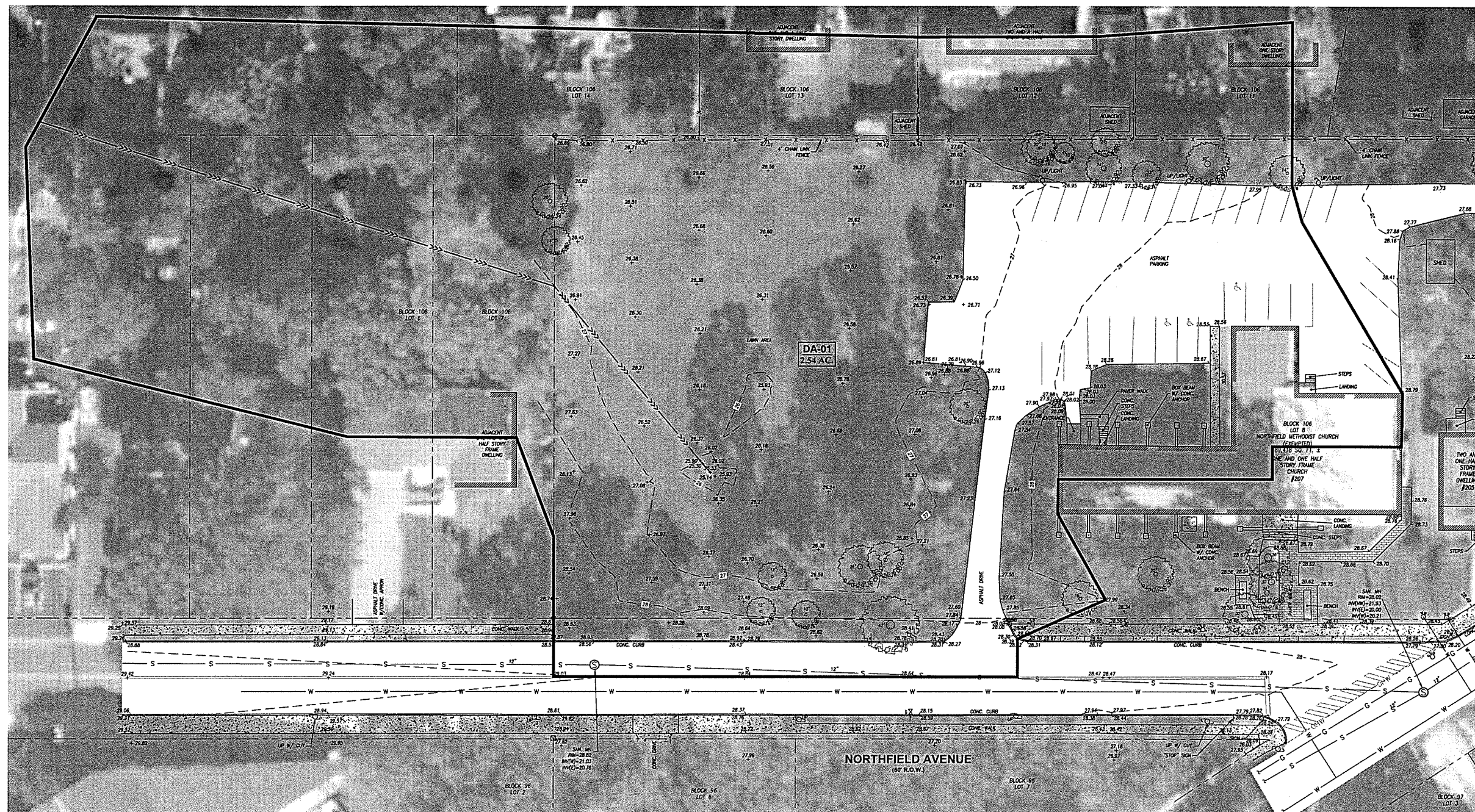
MAJOR SITE PLAN
PROPOSED MEDICAL OFFICE
 BLOCK 106, LOT 8
 CITY OF NORTHFIELD
 ATLANTIC COUNTY, NEW JERSEY

NO.	DATE	APPR.	REVISION

Marc A. DeBlasio 12/14/2021
MARC A. DEBLASIO, PE
 New Jersey License No. 41599

SCALE	DWG. NO.	SHEET NO.	TOTAL
AS NOTED	PV-WP-20007	9	12

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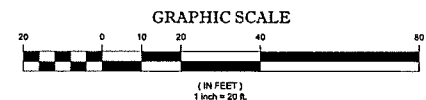


PLAN
SCALE: 1"=20'

LEGEND

--->>>--- PATH FOR TIME OF CONCENTRATION

THIS PLAN IS INTENDED FOR
DRAINAGE BOUNDARY AREAS ONLY



NO.	DATE	APPR.	REVISION


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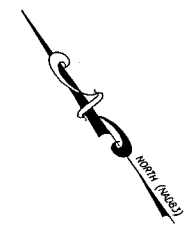
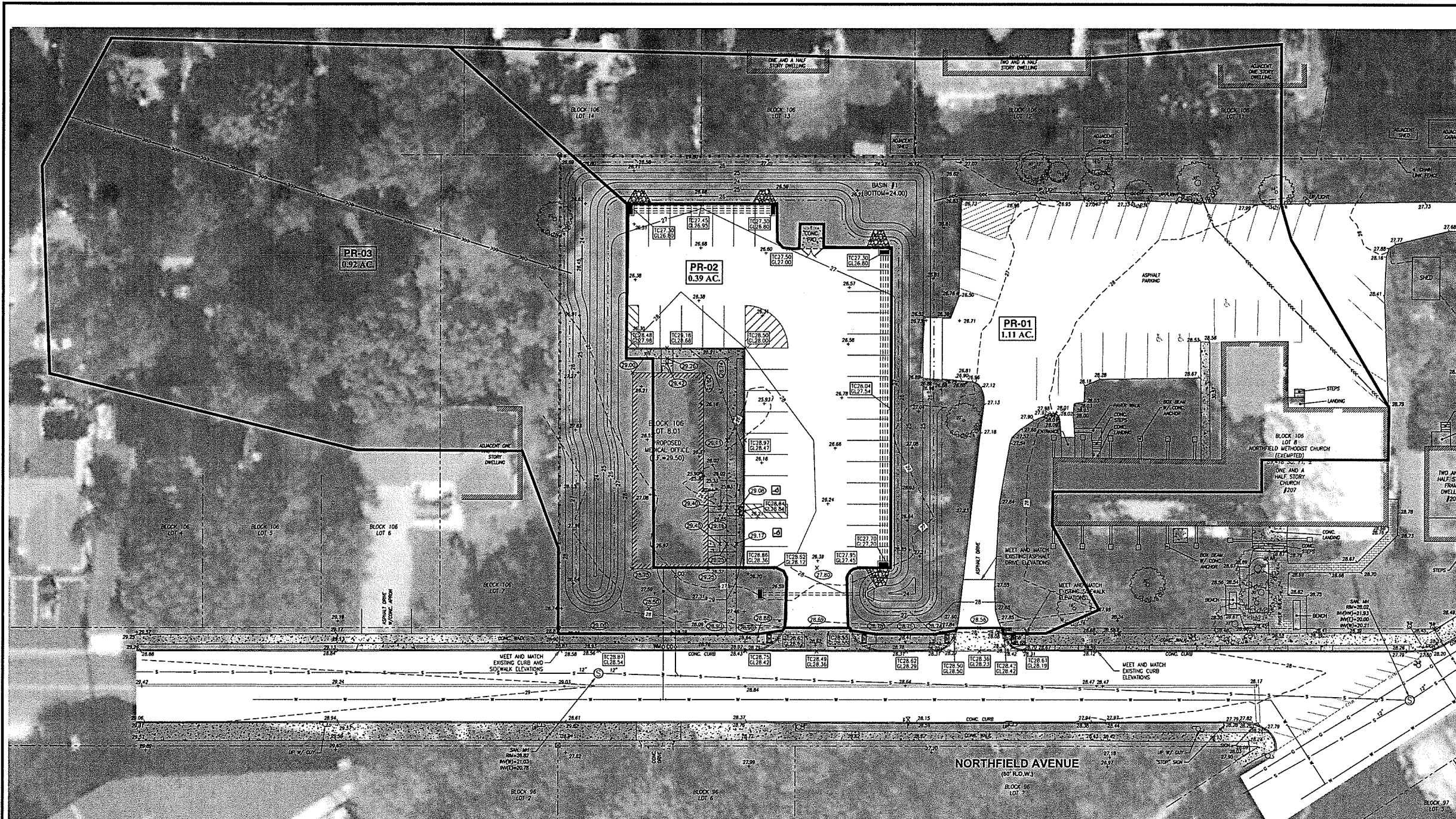
**PRE - DEVELOPMENT
DRAINAGE BOUNDARIES**

**DEBLASIO &
ASSOCIATES**
CONSULTING ENGINEERS AND PLANNERS

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MILDMOOD, NJ 08250
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FAX (609) 654-4323
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Certification of Authorization No. 24CA28284900

**MAJOR SITE PLAN
PROPOSED MEDICAL OFFICE
BLOCK 106, LOT 8
CITY OF NORTHFIELD
ATLANTIC COUNTY, NEW JERSEY**

DESIGN	DRAWN	CHECK	DATE
MWA	MWA	MAD	12/14/2021
			
MARC A. DEBLASIO, PE New Jersey License No. 41599			DATE
SCALE	DATE	SHEET NO.	TOTAL
PV-MPW-20002	12/14/2021	11	12

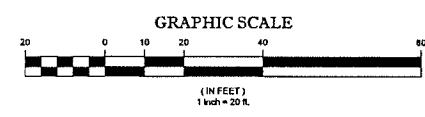


PLAN
SCALE: 1"=20'

LEGEND

--->>>--->>> PATH FOR TIME OF CONCENTRATION

THIS PLAN IS INTENDED FOR
DRAINAGE BOUNDARY AREAS ONLY



NO.	DATE	APPR.	REVISION

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**POST - DEVELOPMENT
DRAINAGE BOUNDARIES**

DeBlasio & Associates
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**MAJOR SITE PLAN
PROPOSED MEDICAL OFFICE
BLOCK 106, LOT 8
CITY OF NORTHFIELD
ATLANTIC COUNTY, NEW JERSEY**

Design	Drawn	Check	Date
RH	BH	UD	12/14/2021

Marc A. DeBlasio 12/14/2021
MARC A. DEBLASIO, PE
New Jersey License No. 41599

Scale	Sheet No.	Total Sheets
AS NOTED	PV-MN-2000	12